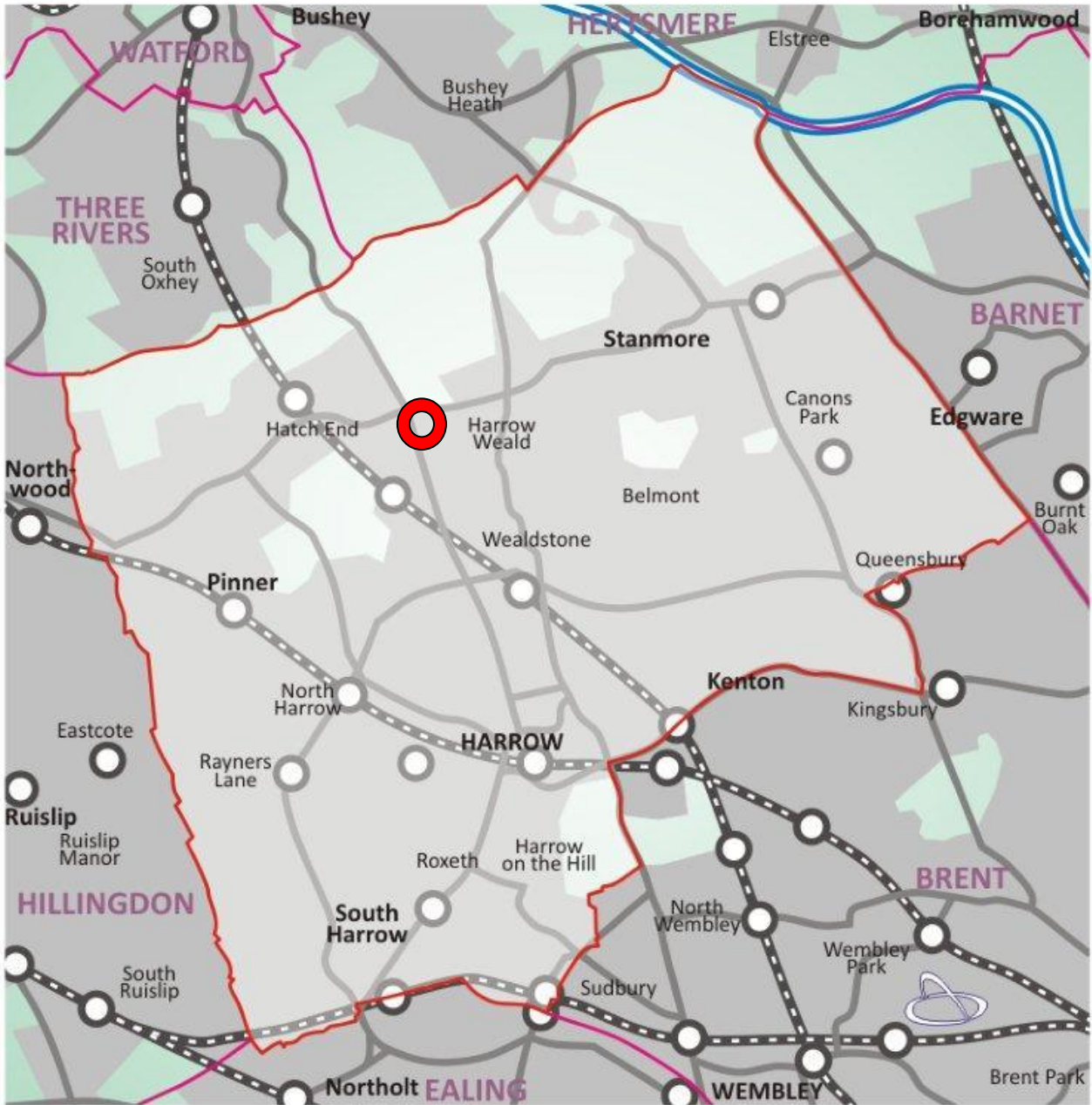
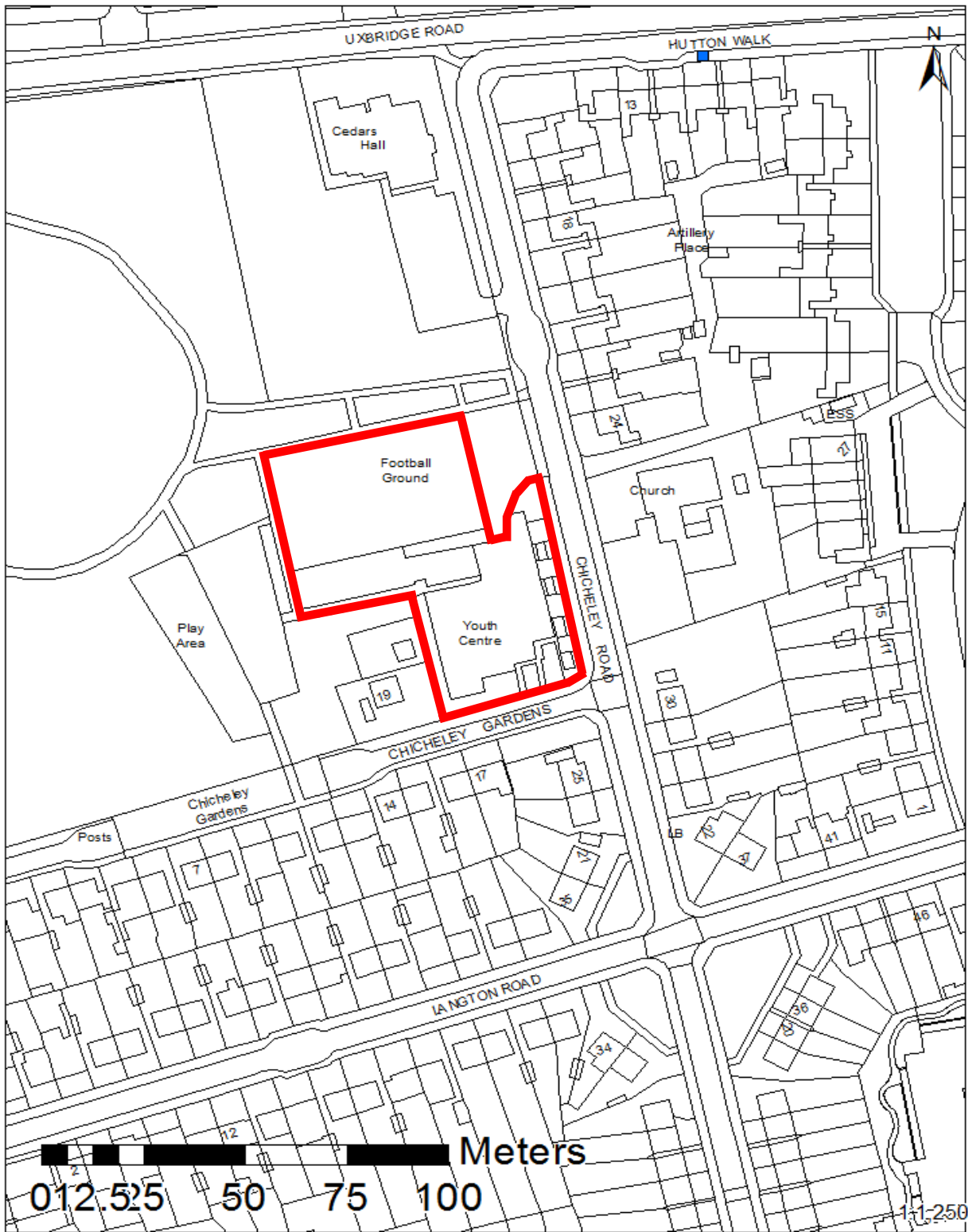


 = application site



<p>Cedars Youth and Community Centre, Chicheley Road, Harrow</p>	<p>P/4522/17</p>
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<p>Cedars Youth and Community Centre, Chicheley Road, Harrow</p>	<p>P/4522/17</p>
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LONDON BOROUGH OF HARROW

PLANNING COMMITTEE

25th April 2018

APPLICATION NUMBER: P/4522/17
VALIDATION DATE: 20/10/2017
LOCATION: CEDARS YOUTH AND COMMUNITY CENTRE,
CHICHELEY ROAD, HARROW
WARD: HARROW WEALD
POSTCODE: HA3 6QH
APPLICANT: MS KIM WALKER
AGENT: LOM ARCHITECTURE AND DESIGN LTD
CASE OFFICER: DAVID BUCKLEY
EXPIRY DATE: 27/04/2018

PURPOSE OF REPORT/PROPOSAL

The purpose of this report is to set out the Officer recommendations to the Planning Committee regarding an application for planning permission relating to the following proposal:

First Floor Side To Rear Extension

RECOMMENDATION A

The Planning Committee is asked to:

- 1) Grant planning permission subject to authority being delegated to the Divisional Director of Regeneration, Enterprise and Planning in consultation with the Director of Legal and Governance Services for the completion of the Section 106 legal agreement and other enabling legislation and issue of the planning permission and subject to minor amendments to the conditions (set out in Appendix 1 of this report) or the legal agreement. The Section 106 Agreement Heads of Terms would cover the following matters:

Heads of Terms for the Legal Agreement

- i) A payment of £5,000 for the purpose of monitoring the approved Travel Plan and an additional payment of £5,000 in the instance that the Travel Plan measures are not met in year 5 of the approved Travel Plan
- ii) Legal Fees: Payment of Harrow Council's reasonable costs in the preparation of the legal agreement;

REASON FOR THE RECOMMENDATION

- 1) The proposal would accord with relevant policy and the proposed development would have a satisfactory impact on the character of the area and the amenities of existing neighbouring occupiers.

For these reasons, weighing up the development plan policies and proposals, and other material considerations including comments received in response to notification and consultation, this application is recommended for grant.

RECOMMENDATION B

That if, by 26th July 2018 or as such extended period as may be agreed by the Divisional Director of Regeneration, Enterprise and Planning in consultation with the Chair of the Planning Committee, then it is recommended to delegate the decision to **REFUSE** planning permission to the Divisional Director of Regeneration, Enterprise and Planning on the grounds that:

The proposed development, by reason of failure to demonstrate an acceptable impact in terms of on-street parking and a failure to demonstrate satisfactory mitigation of the transport impacts of the development, contrary to policies DM42 and DM43 of the Harrow Development Management Policies Local Plan (2013).

INFORMATION

This application is reported to Planning Committee as the development would be over 100 sq m of floorspace where there is an interest held by the Council and therefore falls outside Schedule 1 of the Scheme of Delegation.

Statutory Return Type:	E 18 Minor Development
Council Interest:	Council Owned Land
Net Additional Floor Area:	194 sq m
CIL Contribution:	N/A for D2 Use

HUMAN RIGHTS ACT

The provisions of the Human Rights Act 1998 have been taken into account in the processing of the application and the preparation of this report.

EQUALITIES

In determining this planning application the Council has regard to its equalities obligations including its obligations under section 149 of the Equality Act 2010.

For the purposes of this application there are no adverse equalities issues.

S17 CRIME & DISORDER ACT

Policies 7.3.B and 7.13.B of The London Plan and Policy DM1 of the Development Management Policies Local Plan require all new developments to have regard to safety and the measures to reduce crime in the design of development proposal. It is considered that the development does not adversely affect crime risk.

LOCAL GOVERNMENT (ACCESS TO INFORMATION) ACT 1985
BACKGROUND PAPERS USED IN PREPARING THIS REPORT:

- Planning Application
- Statutory Register of Planning Decisions
- Correspondence with Adjoining Occupiers
- Correspondence with Statutory Bodies
- Correspondence with other Council Departments
- National Planning Policy Framework
- London Plan
- Local Plan - Core Strategy, Development Management Policies, SPGs
- Other relevant guidance

LIST OF ENCLOSURES / APPENDICES:

Officer Report:

Part 1: Planning Application Fact Sheet

Part 2: Officer Assessment

Appendix 1 – Conditions and Informatives

Appendix 2 – Site Plan

Appendix 3 – Site Photographs

Appendix 4 – Plans and Elevations

OFFICER REPORT

PART 1: Planning Application Fact Sheet

The Site	
Address	Cedars Youth And Community Centre Chicheley Road Harrow HA3 6QH
Applicant	Ms Kim Walker
Ward	Harrow Weald
Local Plan Allocation	No
Conservation Area	No
Listed Building	No
Setting of Listed Building	No
Building of Local Interest	No
Tree Preservation Order	No
Other	Adjacent to but outside of, Area of Special Character, Green Belt and Site of Importance for Nature Conservation.

Transportation		
Car parking	No. Existing Car Parking spaces	9 spaces onsite, including two spaces for persons with disability. 30 spaces offsite at the church opposite.
	No. Proposed Car Parking spaces	As above
	Proposed Parking Ratio	N/A
Cycle Parking	No. Existing Cycle Parking spaces	20
	No. Proposed Cycle Parking spaces	As above
	Cycle Parking Ratio	N/A
Public Transport	PTAL Rating	2
	Closest Rail Station / Distance (m)	Headstone Lane/Hatch End both 0.9 miles 1.4km
	Bus Routes	182, H12, H14
Parking Controls	Controlled Parking Zone?	No
	CPZ Hours	No
	Previous CPZ Consultation (if not in a CPZ)	N/A
	Other on-street controls	N/A

Parking Stress	Area/streets of parking stress survey	N/A
	Dates/times of parking stress survey	N/A
	Summary of results of survey	N/A
Refuse/Recycling Collection	Summary of proposed refuse/recycling strategy	Located within the site.

1.0 SITE DESCRIPTION

- 1.1 The site is located at the junction Chicheley Road with Chicheley Gardens, positioned on the fringe of Cedars Park and measures 0.61 hectares in area.
- 1.2 The area is characterised by predominantly two-storey residential properties. A church is located opposite the site on the east side of Chicheley Road. The subject site does not adjoin any residential properties
- 1.3 The two-storey residential properties along the south part of Chicheley Gardens are at a higher level due to the topological nature of the area
- 1.4 The site comprises Cedars Youth and Community Centre which was rebuilt with planning permission in 2010. The existing building has a gross external floor area of 1,830 sq m.
- 1.5 The wider area (Cedars Park) comprises a children's play area, open space and a football pitch with goal posts. This part of the area (Cedars Park) is designated Green Belt; Area of Special Character (Harrow Weald Ridge) and a Site of Nature Conservation Importance. Part of the application site is situated within these designations, but are not included in the area where the extension will take place.
- 1.6 Cedars Youth and Community Centre is managed by Watford FC's Community Sports and Education Trust. Users of the centre include Harrow Youth services team, young people, residents groups, community groups, elderly, job seekers and a number of other users.
- 1.7 The centre has a 4G AstroTurf pitch, an indoor sports hall, a social space, community gym, etc. The centre has a solar wall, green roofs and rainwater harvesting and operates a green travel plan. Existing sedum roofs will be retained.
- 1.8 The existing parking arrangement will be retained, with 9 on site spaces, including two spaces for persons with disabilities. 30 spaces are available in the adjacent church car park. 20 safe and secure cycle spaces are available on site.
- 1.9 There is an existing management plan for the site and restricted opening hours in the original planning permission. These were extended to 09.00 to 22.00 hours Monday to Friday and 09.00 to 22.00 hours on Saturdays, Sundays or Bank Holidays.
- 1.10 A number of details in relation to the original planning permission were approved under reference P/1882/10, including crime prevention, landscaping, refuse/waste, levels and travel plan.

2.0 PROPOSAL

- 2.1 The proposal consists of a first floor extension of 194 sq m of floor space, which will be sited over the accessible earth-beamed slope on the north-west corner of

the site, connecting with the existing building. The extension will use the same materials as those used in the existing building, which would include a green roof and wall, natural cladding, comprising timber, stone and sedum roof.

- 2.2 An amended set of plans were submitted showing small amendments to the scheme, comprising the raising of the roof level by 437mm and installation of 3 no. ventilation units which projected approximately 60mm above the roof level immediately to the rear of the main building.
- 2.3 The extension would be divided in to three rooms off a hallway. The two smaller rooms have a moveable wall which allows them to combine in to a larger room for flexible use.
- 2.4 The extension would be accessed from the ground level via staircase or lifts.
- 2.5 The existing parking arrangement will be retained, with 9 on site spaces, including two car parking spaces for persons with disability. 30 spaces off site are available on the road and in the adjacent church car park. 20 cycle spaces are available.

3.0 RELEVANT PLANNING HISTORY

P/1882/10 - Details Pursuant To Conditions 2 (Crime) 3 7 8 (Landscaping) 5 (Refuse/Waste) 9 (Levels) 10 (Materials) 11 (Boundary Treatment) 13 (Sewage) 14 (Surface Water) 15 (Water Attenuation) 17 (Lighting) 18 (Travel Plan) 19 (Odours) 22 (Carbon Dioxide Emissions) Of Planning Permission P/2441/09
Granted 09/02/2010

P/2042/10 - Variation of Conditions 13, 14, 15 and 16 of Permission P/2441/09 Dated
09/02/2010 To Extend the Opening Hours of the Facility and To Amend
Conditions With Regard To Foul and Surface Water Disposal
Granted: 22/11/2010

P/1789/10 - Non-Material Amendments To Planning Application P/2441/09 Dated
09/02/2010 For Demolition Of Existing Cedars Youth And Community Centre,
Redevelopment Comprising New Cedars Myplace Youth And Community
Centre, Associated All Weather Playing Surface, Parking, Landscaping And
Refuse
Granted: 06/08/2010

P/2441/09 - Demolition Of Existing Cedars Youth And Community Centre,
Redevelopment Comprising New Cedars Myplace Youth And Community Centre,
Associated All Weather Playing Surface, Parking, Landscaping And Refuse.
Granted: 01/01/2010

4.0 CONSULTATION

4.1 A total of 31 neighbours were consulted regarding this application. The public consultation period expired on the 10th November 2017. Three site notices were displayed at the site with the expiry date of 18th January 2018.

4.2 Adjoining Properties

Number of Letters Sent	31
Number of Responses Received	03
Number in Support	0
Number of Objections	03
Number of other Representations (neither objecting or supporting)	0

Objection Type	Summary of Comments	Officer Comments
Traffic and Parking	<ul style="list-style-type: none"> Existing parking problems will be exacerbated. Access to rear of house in Artillery Place is blocked so residents cannot drive in or out. When this is blocked there is a longer walk for residents. The (existing) Travel Plan has not achieved its objective of preventing driving and local residents cannot park. The use of the church car park is not advertised and often users part on the grass verges and pavements. Parking officers do not effectively manage the situation. 	Comments noted and are addressed in the relevant section of the report below.
Anti-social behaviour	<ul style="list-style-type: none"> Youths loitering around near the Youth Centre which can be intimidating 	Comments noted and are addressed in the relevant section of the report below.
Notification	<ul style="list-style-type: none"> Neighbours at No. 28 Chicheley Road were not sent a letter. 	31 letters were sent to nearby neighbours. It is acknowledged that the proposal could have an impact on the wider area. For this reason three site notices were displayed in the vicinity of the site- for wider consultation purposes.

4.3 Statutory and Non Statutory Consultation

4.4 The following consultations have been undertaken:

The following consultations have been undertaken:

- LBH Highways
- Drainage Engineering Officers

4.5 External Consultation

4.6 N/A

4.7 Internal Consultation

4.8 A summary of the consultation responses received along with the Officer comments are set out in the Table below.

Consultee	Summary of Comments	Officer Comments
LBH Highways	<p>No objection to the proposal, detailed comments below:</p> <p><i>“We would like to request a S106 for this development due to the increased issues with traffic in the area.</i></p> <p><i>We requesting £5k for monitoring and a £5k in case Travel Plan measures are not met in year 5.</i></p> <p><i>Travel Plan comments:</i></p> <ul style="list-style-type: none">• <i>Page 20 - Surveys should be conducted within 6 months of occupation</i>• <i>Monitoring should be conducted in year 1,3,5, with interim update reports provided to KBH in year 2 and 4. A monitoring fee and bond will be required in case the Centre fails to reach its targets over 5 years.</i>• <i>Action Plan – Travel Plan coordinator should notify London Borough of Harrow once in place. Please include a measure for all travel plan related information to be added to the website.”</i>	<p>Comments noted. The changes requested for the Travel Plan have been addressed by the applicant. Other issues are addressed in the relevant section of the report below.</p>

<p>Drainage Engineering Officers</p>	<p>No objection to the proposal, detailed comments below: <i>“With regards to the above planning application, we have reviewed the recent submissions emailed on 7/07/2017 and can confirm that the proposed development is 5m away from the piped watercourse. Therefore, our consent for the works will not be required.</i></p> <p><i>However, as the above mentioned site is within flood zone 3a& 3b according to our surface water flood maps Emergency Planning information should be provided by the applicant.</i> <i>Please request the applicant to submit the following details.</i></p> <p><u><i>Flood Evacuation Plan</i></u> <i>A plan indicating a safe route for the occupants and users away from the source of flooding should be provided.</i></p> <p><u><i>Flood Maps</i></u> <i>Flood extent maps should be attached along with the flood evacuation plan. Maps can be requested from infrastructure@harrow.gov.uk</i></p> <p><i>We trust the information provided is helpful, should any further clarification be required please request the applicant to contact Harrow Drainage Section on infrastructure@harrow.gov.uk</i></p> <p><i>The information can be secured by planning condition.”</i></p>	<p>Comments noted and are addressed in the relevant section of the report below.</p>
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5.0 POLICIES

5.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that:

‘If regard is to be had to the Development Plan for the purpose of any determination to be made under the Planning Acts, the determination must be made in accordance with the Plan unless material considerations indicate otherwise.’

- 5.2 The Government has issued the National Planning Policy Framework [NPPF] which consolidates national planning policy and is a material consideration in the determination of this application.
- 5.3 In this instance, the Development Plan comprises The London Plan 2016 [LP] and the Local Development Framework [LDF]. The LDF comprises The Harrow Core Strategy 2012 [CS], Harrow and Wealdstone Area Action Plan 2013 [AAP], the Development Management Policies Local Plan 2013 [DMP], the Site Allocations Local Plan [SALP] 2013 and Harrow Local Area Map 2013 [LAP].
- 5.4 While this application has been principally considered against the adopted London Plan (2016) policies, some regard has also been given to relevant policies in the Draft London Plan (2017), as this will eventually replace the current London Plan (2016) when adopted and forms part of the development plan for the Borough.
- 5.5 The document has been published in draft form in December 2017. Currently, the Mayor of London is seeking representations from interested parties/stakeholders, before the draft Plan is sent to the Secretary of State for Examination in Public, which is not expected to take place until the summer of 2019. Given that that the draft Plan is still in the initial stages of the formal process it holds very limited weight in the determination of planning applications.
- 5.6 A full list of all the policies used in the consideration of this application is provided as Informative 1 in Appendix 1 of this report.

6.0 ASSESSMENT

6.1 The main issues are:

- Principle of the Development
- Regeneration
- Character and Appearance
- Amenity of Neighbouring Occupiers
- Development and Flood Risk
- Traffic, Parking, and Construction Issues
- Development and Flood Risk

6.2 Principle of Development

Development Adjacent to the Green Belt and are Area of Special Character (Harrow Weald Ridge) and a Site of Nature Conservation Importance

6.2.1 Part of the application site, which comprises the football pitch is located on the edge of Green Belt. The extension would be to the main building. However, it would not be located in, or have any impact on the Green Belt. While the proposal would be located on an existing green roof, this will be replicated in the roof of the proposal and so there would not be any policy concerns in this regard.

6.3 Regeneration

6.3.1 The London Borough of Harrow published a Regeneration Strategy for 2015 – 2026. The objective of this document is to deliver three core objectives over the plans life, which include;

- **Place;** Providing the homes, schools and infrastructure needed to meet the demands of our growing population and business base, with high quality town and district centres that attract business investment and foster community engagement;
- **Communities;** Creating new jobs, breaking down barriers to employment, tackling overcrowding and fuel poverty in our homes and working alongside other services to address health and welfare issues;
- **Business;** Reinforcing our commercial centres, promoting Harrow as an investment location, addressing skills shortages, and supporting new business start-ups, developing local supply chains through procurement.

6.3.2 Whilst it is acknowledged that the proposed development would not address all of the aspects noted in the above bullet points, it would achieve the overall aspiration of regeneration of the Borough. The proposed development allows the site to be used in a more efficient way. Specifically, it will create a larger space for community uses. Furthermore, the construction in the site would result in some temporary jobs within the Borough, which would be throughout the duration of the construction process.

6.3.3 It is therefore considered that the proposed development would meet the overarching principles of regeneration into the area.

6.4 Character and Appearance of the Area

6.4.1 The National Planning Policy Framework (NPPF) was published by the Government on March 27th 2012. The NPPF does not change the law in relation to planning (as the Localism Act 2012 does), but rather sets out the Government's planning policies for England and how these are expected to be applied. It remains the case that the Council is required to make decisions in accordance with the development plan for an area, unless other material considerations indicate otherwise (S.38(6) of the Planning Act). The development plan for Harrow comprises The London Plan 2016 [LP] and the Local Development Framework [LDF].

6.4.2 While this application has been principally considered against the adopted London Plan (2016) policies, some regard has also been given to relevant policies in the Draft London Plan (2017), as this will eventually replace the current London Plan (2016) when adopted and forms part of the development plan for the Borough.

6.4.3 The document has been published in draft form in December 2017. Currently, the Mayor of London is seeking representations from interested parties/stakeholders, before the draft Plan is sent to the Secretary of State for Examination in Public, which is not expected to take place until the summer of 2019. Given that that the

draft Plan is still in the initial stages of the formal process it holds very limited weight in the determination of planning applications.

- 6.4.4 The NPPF states (paragraph 64) that ‘permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions’. The NPPF continues to advocate the importance of good design.
- 6.4.5 The London Plan (2016) policy 7.4B states, inter alia, that all development proposals should have regard to the local context, contribute to a positive relationship between the urban landscape and natural features, be human in scale, make a positive contribution and should be informed by the historic environment. Core Strategy policy CS1.B states that ‘all development shall respond positively to the local and historic context in terms of design, siting, density and spacing, reinforce the positive attributes of local distinctiveness whilst promoting innovative design and/or enhancing areas of poor design’.
- 6.4.6 Policy DM1 of the DMP seeks to ensure that “proposals that would be detrimental to the privacy and amenity of neighbouring occupiers, or that would fail to achieve satisfactory privacy and amenity for future occupiers of the development, will be resisted”.
- 6.4.7 The first floor extension would be located on the existing single storey element. The proposed roof design, as the most prominent part of the proposal, would be in keeping with the roof design of the main existing building. The proposed materials of natural cladding, timber, stone and sedum roof would be the same as those in the existing building. While part of the existing green roof would be lost due to the extension, this would be replaced with a new, sedum roof and a large section would be retained on the sloped area.

Conclusion

- 6.4.8 Subject to a condition on details of materials to be used on the exterior of the building, it is considered that the external appearance and design of the development is consistent with the principles of good design as required by the National Planning Policy Framework (2012). The resultant development would be appropriate in its context and would comply with policies 7.4B and 7.6B of The London Plan (2016), policies D1 and D2, Core Policy CS1 (B) of the Harrow Core Strategy, the Harrow and Wealdstone Area Action Plan (2013), policy DM1 of the Council’s Development Management Policies Local Plan), which require a high standard of design and layout in all development proposals.
- 6.5 Amenity of Neighbouring Occupiers
- 6.6 Core Strategy Policy CS1 B requires development to respond positively to the local context in terms of design, siting, density and spacing. Policy DM1 Achieving a High Standard of Development sets out a number of privacy and amenity criteria for the assessment of the impact of development upon neighbouring occupiers. Draft London Plan 2017 policy D1 addressed delivery of

appropriate outlook, privacy and amenity. Harrow has also produced a Residential Design Guide SPD.

6.7 The extension would be screened from a large number of neighbouring occupiers by the existing two storey element of the building. The only neighbouring property sufficiently close to be impacted directly in terms of loss of outlook/ overlooking would be No. 19 Chicheley Gardens, to the south of the application site. However, the existing first floor element this would largely screen the extension to this neighbour. Only 2.5m in width of the extension would project to the west beyond the original first floor and the distance of this to the neighbour at No. 19 Chicheley Gardens would be over 20m and as it would be set to the north east of this neighbour, it would not result in amenity harm.

6.8 Anti-Social Behaviour

6.9 Neighbour objections have raised concerns in relation to anti-social behaviour. There is an existing management plan, travel plan and restriction of hours of use in place. However, while the point is acknowledged, the proposal would represent an increase of approximately 10% increase in terms of floor area and number of users. On this basis it is considered that it may be unreasonable to withhold planning permission given that the proposal may not result in an unacceptable impact in terms of anti-social behaviour. Furthermore, a Management Plan will be required through a relevant condition to ensure that the proposal would not result in an increased level of anti-social behaviour.

6.10 Issues related to traffic and parking and potential impact on neighbouring occupiers will be addressed in the section below.

6.11 Traffic, Parking, Access, Servicing and Sustainable Transport

6.12 The NPPF recognises that transport policies have an important role to play in facilitating sustainable development but also contribute to wider sustainability and health objectives. It further recognises that different policies and measures will be required in different communities and opportunities to maximise sustainable transport solutions will vary from urban to rural areas. London Plan policy 6.3 states that 'development proposals should ensure that impacts on transport capacity and the transport network, at both a corridor and local level, are fully assessed'. Policies 6.9 and 6.10 relate to the provision of cycle and pedestrian friendly environments, whilst policy 6.13 relates to parking standards. Core Strategy policy CS1.Q seeks to 'secure enhancements to the capacity, accessibility and environmental quality of the transport network', whilst policy CS1.R reinforces the aims of London Plan policy 6.13, which aims to contribute to modal shift through the application of parking standards.

Refuse, Servicing and Emergency Services Access

6.13 The current arrangement for refuse, servicing and emergency services access will remain unchanged.

6.14 Car and Cycling Parking

6.15 The existing parking arrangement will be retained, with 9 on site spaces, including two spaces for disabled people, 30 spaces off site on the road and in the adjacent church car park and 20 cycle spaces on site.

6.16 Neighbour objections have been received stating that: existing parking problems will be exacerbated; access in Artillery Place is blocked so residents cannot drive in or out. When this is blocked there is a longer walk for residents and that the Travel Plan for the original scheme has not achieved its objective of preventing driving and that local residents cannot park. Neighbour objections also state that the use of the church car park is not advertised and often users park on the grass verges and pavements. Also object that parking officers do not effectively manage the situation.

6.17 It is stated on p20 of the Design and Access Statement that an analysis of the current parking usage has been undertaken and as such it is not expected that the proposed extension to the Community Centre will cause undue stress on the network. It is also stated that the majority of users walk to the centre with a small number arriving by car and that the 9 staff members park on site.

6.18 The Design and Access Statement also states that community projects have a maximum of 175 visitors through the day, primarily arriving by foot or bicycle. The all-weather pitch hire- out is staggered to ensure maximum 39 available spaces are sufficient.

6.19 The Design and Access Statement also highlights a number of measures within the existing traffic management system, which are summarised below:

- Larger meetings are planned well in advance with local residents informed and prior agreement from parking providers the Church and Cedars Hall.
- Local community encouraged to travel by alternatives to private cars.
- Secure cycle spaces provided, bike locks provide free of charge.
- When accepting booking requests from external users, a service level agreement must be signed and this seeks to limit stress on the network.
- Staff member's direct vehicles to use the free Church car parking opposite the centre for overflow as occasionally required.
- Harrow Mencap use taxis or minibuses to drop people to the centre and then move on.

6.20 Expected Car Parking Use

6.21 The Design and Access Statement states that the proposed extension is expected to increase the number of additional students in the centre by 15-30 people at any one time across the day. They do not anticipate this will place undue stress on the network, although this is addressed more fully in the Travel Plan.

- 6.22 The Design and Access Statement also highlights the fact that Harrow Mencap, who plan to use the larger area of the planned extension will continue their existing arrangement of dropping users rather than parking.
- 6.23 The Design and Access Statement goes on to state that the other spaces will be for Trust delivery or occasional external lets, that staff manage letting requests and this will continue to be done in accordance with the Green Travel Plan that was established as part of the original planning permission.
- 6.24 The applicant has submitted a Travel Plan that seeks to reduce the impact of travel to and from the Cedars Youth and Community Centre, to reduce the impact of the Cedar's Club's activities on the environment and to encourage active travel to help improve the health of staff and users, in part by reducing the level of car use by staff, regular users and other visitors.
- 6.25 The Highways Authority response requires a number of amendments to the Travel Plan, which can be summarised as follows:
- Page 20 - Surveys should be conducted within 6 months of occupation.
 - Monitoring should be conducted in year 1, 3, 5, with interim update reports provided to KBH in year 2 and 4. A monitoring fee and bond will be required in case the Centre fails to reach its targets over 5 years.
 - Action Plan – Travel Plan coordinator should notify London Borough of Harrow once in place. Please include a measure for all travel plan related information to be added to the website. The applicant has subsequently submitted a revised version of the Travel Plan which addresses the issues raised.
- 6.26 The applicant has submitted a revised Travel Plan which addresses all of the points made above, which essentially comprise ensuring that the plan would be enacted and monitored, externally assessed and that financial penalties would apply, which are guaranteed by legal agreement, should the operators fail to meet the Travel Plan requirements within the term of the Plan.
- 6.27 The legal agreement would comprise £5,000 for monitoring and an additional £5,000 in case Travel Plan measures are not met in year 5 of the Travel Plan.
- 6.28 Subject to these points raised in paragraphs 6.70, the submitted Travel Plan is considered by the Council's Highways officers to ensure that the impact on the surrounding highways network would be effectively mitigated by the measures within the Travel Plan. The proposal is considered acceptable by the Highways Authority. On this basis it is considered that the proposal would meet the requirements of relevant policy. A Construction Logistics Plan is also required by the Highways Authority which will be secured by condition.
- 6.29 Flood Risk and Development
- 6.30 The Council's Strategic Flood Risk Assessment maps show that the site is located within Flood Zone 3a and 3b, which are higher risk flood zones. Policy

DM9 of the Harrow Development Management Policies Local Plan (2013) requires proposals should make appropriate provision for flood risk mitigation and not increase the risk or consequences of flooding.

- 6.31 The development is not increasing the footprint of development at the application site. The Drainage Authority has confirmed that the proposed development is 5m away from the nearby piped watercourse.
- 6.32 The Drainage Authority has stated that the submitted Flood Risk Assessment is acceptable. Also, due to the location of the site in a higher risk flood zone, Emergency Planning information has been requested by the Drainage Authority and has advised that it is acceptable to secure this via condition. A relevant condition has been attached.

Conclusion

- 6.33 The principle of extending the existing community centre is acceptable. The proposal would be considered acceptable in terms of character and appearance, neighbouring amenity and other material considerations.
- 6.34 For all the reasons considered above, and weighing up the development plan policies and proposals, and other material considerations including comments received in response to notification and consultation as set out above, this application is recommended for grant.

APPENDIX 1: Conditions and Informatives

Conditions

1 Timing

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.

2 Approved Drawing and Documents

The development hereby permitted shall be carried out in accordance with the following approved plans and documents:

Design and Access Statement dated September 2017; 1686-A-0001 Revision A ; 1686-A-0002; 1686-A-0003 Revision A; 1686-A-0004; 1686-A-0005; 1686-A-0100; 1686-A-1000 Revision C; 1686-A-1110 Revision F; 1686-A-1120 Revision C; 1686-A-2010 Revision E; 1686-A-2110 Revision D; Drainage Plan Ground Floor 01 Revision 1; Drainage Plan First Floor 01 Revision 1;; Drainage and Rainwater Services Roof Level 01 Revision 1; Drainage Rainwater Schematic 01 Revision 1; Flood Risk Assessment 090246/MA Rev P1 dated 21st October 2009; Revised Site Plan (Piped Watercourse) 1686-A-1000 Revision A; Travel Plan dated March 2018.

Reason: For the avoidance of doubt and in the interests of proper planning.

3 Materials

Notwithstanding the submitted details and approved plans, the hereby permitted shall not commence beyond damp proof course level, until samples of the materials to be used in the construction of the external surfaces noted below have been submitted to, and approved in writing by, the local planning authority:

- a) Facing materials and roof
- b) Windows and doors;
- c) Rainwater goods

The development shall be carried out in accordance with the approved details and shall thereafter be retained.

Reason: To safeguard the appearance of the locality

4 Flood Risk and Development

Notwithstanding the submitted details and approved plans, the development hereby permitted shall not be used until details of flood warning and evacuation procedures for occupants and users of the site have been submitted to the local authority and approved in writing. The measures shall thereafter remain in place

and the Local Drainage Authority shall be informed of any alterations to the approved procedures.

Reason: To build in resistance and resilience in managing, reducing and mitigating the effects of flood risk following guidance in the National Planning Policy.

5 Construction Logistics Statement

No development shall take place until a Construction Logistics Statement has been submitted to, and approved in writing by, the local planning authority. The approved Statement shall be adhered to throughout the construction period. The Statement shall provide for:

- i. the parking of vehicles of site operatives and visitors
- ii. loading and unloading of plant and materials
- iii. storage of plant and materials used in constructing the development
- iv. measures to control the emission of dust and dirt during construction
- v. a scheme for recycling/disposing of waste resulting from demolition and construction works

Reason: To ensure that the construction of the development does not unduly impact on highway safety and the amenities of the existing occupiers of the properties adjacent to the site. To ensure that the proposed works can be incorporated in to the design, this is PRE-COMMENCEMENT Condition.

6 Management Strategy

Commencement of the use of the proposed development by members of the public shall not commence until a management strategy encompassing the existing building and new extensions, giving details of activities and the numbers of persons attending, to include records of and measures for managing amplified sound, has been submitted to and approved in writing by the local planning authority. Usage of the development area shall be in compliance with the approved management strategy at all times and it shall be kept updated to reflect changing usage of the building, and shall be made available at any time for inspection upon a request from the local planning authority.

Reason: To safeguard the amenity of neighbouring residents.

7 Secure by Design

Prior to first occupation of the development hereby permitted, measures to minimise the risk of crime in a visually acceptable manner and meet the specific security needs of the application site / development shall be installed in accordance with the design principles set out in the relevant Design Guides on the Secured by Design website: <http://www.securedbydesign.com/>
Following implementation the works shall thereafter be retained.

Reason: In the interest of creating safer and more sustainable communities and to safeguard amenity by reducing the risk of crime and the fear of crime.

8 Construction Works

All construction works and ancillary operations [including deliveries and other commercial vehicles to and from the site] which are audible at the boundary of noise sensitive premises, shall only take place on-site between the hours of 0800 hrs to 1800 hrs Monday to Friday and 0800 hrs to 1300 hrs on Saturday, and at no time during Sundays and Bank Holidays unless otherwise agreed in writing by the Local Planning Authority.

REASON: In the interests of noise sensitive properties.

9 Refuse Storage

Refuse storage shall be stored in the refuse storage location as per approved details in Approval of Details application reference P/1882/10 apart from on collection days.

Reason: To ensure adequate standards of hygiene and refuse/waste collection without prejudice to the enjoyment by neighbouring occupiers of their properties.

10 Hours of Operation

The building and use hereby permitted shall not operate outside the following times:-

- a: 0900 hours to 2200 hours, Monday to Friday inclusive; and
- b: 0900 hours to 1900 hours, Saturdays, Sundays or Bank Holidays without the prior written permission of the local planning authority.

Reason: To safeguard the amenity of neighbouring residents.

11 Hot Food

No hot food shall be cooked on the premises without the prior written permission of the local planning authority of a scheme for the control of odours. The development shall be completed only in accordance with the approved scheme.

Reason: To safeguard the amenities of neighbouring residents from unacceptable odours arising from use of the café.

12 D2 Use Class

The premises shall be used for the purposes specified on the application and for no other purpose including any other purpose in Class D2 of the Schedule to the Town and Country Planning (Use Classes) Order 1987 (or in any provision equivalent to that Class in any Statutory Instrument revoking and re-enacting that Order with or without modification).

Reason: To safeguard the amenities of neighbouring residents.

INFORMATIVES

1 Policies

The following policies and guidance are relevant to this decision:

National Planning Policy and Guidance:

National Planning Policy Framework (2012)

Draft London Plan 2017

D2 Delivering Good Design

The London Plan (2016):

3.1 Ensuring Equal Life Chances for All

35.12 Flood Risk Management

5.13 Sustainable Drainage

6.3 Assessing Effects of Development on Transport Capacity

6.9 Cycling

6.10 Walking

6.12 Road Network Capacity

6.13 Parking

7.1 Building London's Neighbourhoods and Communities

7.2 An Inclusive Environment

7.3 Designing Out Crime

7.4 Local Character

7.5 Public Realm

7.6 Architecture

Local Development Framework

Harrow Core Strategy 2012

CS1 B Local Character

CS 1 U Flooding

Development Management Policies Local Plan 2013

DM1 Achieving a High Standard of Development

DM2 Achieving Lifetime Neighbourhoods

DM10 On Site Water Management and Surface Water Attenuation

DM12 Sustainable Design and Layout

DM23 Streetside Greenness and Forecourt Greenery

DM42 Parking Standards

DM45 Waste Management

Supplementary Planning Documents

Mayor of London Housing Supplementary Planning Guidance (2012)

Residential Design Guide Supplementary Planning Document (2010)

Accessible Homes Supplementary Planning Document (2010)

Building Regulations 2010 M4 (2) Category 2: Accessible and Adaptable Dwellings

Technical Housing Standards- Nationally Described Space Standard 2015

Code of Practice for the Storage and Collection of Refuse and Materials

For Recycling In Domestic Properties 2016

2 Grant without pre-application advice

Statement under Article 31 (1)(cc) of The Town and Country Planning (Development Management Procedure) (England) Order 2010 (as amended)
This decision has been taken in accordance with paragraphs 187-189 of The National Planning Policy Framework. Pre-application advice was sought and provided and the submitted application was in accordance with that advice.

3 CONSIDERATE CONTRACTOR CODE OF PRACTICE

The applicant's attention is drawn to the requirements in the attached Considerate Contractor Code of Practice, in the interests of minimising any adverse effects arising from building operations, and in particular the limitations on hours of working.

4 COMPLIANCE WITH PLANNING CONDITIONS

IMPORTANT: Compliance With Planning Conditions Requiring Submission and Approval of Details Before Development Commences

- You will be in breach of planning permission if you start development without complying with a condition requiring you to do something before you start. For example, that a scheme or details of the development must first be approved by the Local Planning Authority.
- Carrying out works in breach of such a condition will not satisfy the requirement to commence the development within the time permitted.
- Beginning development in breach of a planning condition will invalidate your planning permission.
- If you require confirmation as to whether the works you have carried out are acceptable

5 INFORMATIVE

The applicant is advised to ensure that the highway is not interfered with or obstructed at any time during the execution of any works on land adjacent to a highway. The applicant is liable for any damage caused to any footway, footpath, grass verge, vehicle crossing, carriageway or highway asset. Please report any damage to nrswa@harrow.gov.uk or telephone 020 8424 1884 where assistance with the repair of the damage is available, at the applicant's expense. Failure to report any damage could result in a charge being levied against the property.

Plan Numbers: Design and Access Statement dated September 2017; 1686-A-0001 Revision A ; 1686-A-0002; 1686-A-0003 Revision A; 1686-A-0004; 1686-A-0005; 1686-A-0100; 1686-A-1000 Revision C; 1686-A-1110 Revision F; 1686-A-1120 Revision C; 1686-A-2010 Revision E; 1686-A-2110 Revision D; Drainage_Plan Ground Floor 01 Revision 1; Drainage Plan First Floor 01 Revision 1;; Drainage and Rainwater Services Roof Level 01 Revision 1; Drainage Rainwater Schematic 01 Revision 1; Flood Risk Assessment 090246/MA Rev P1 dated 21st October 2009; Revised Site Plan (Piped Watercourse) 1686-A-1000 Revision A; Travel Plan dated March 2018; Unnumbered drawings entitled 'West Elevation-proposed changes to planning submission 6.2.18.

APPENDIX 2: SITE PLAN



APPENDIX 3: PHOTOGRAPHS



Aerial View

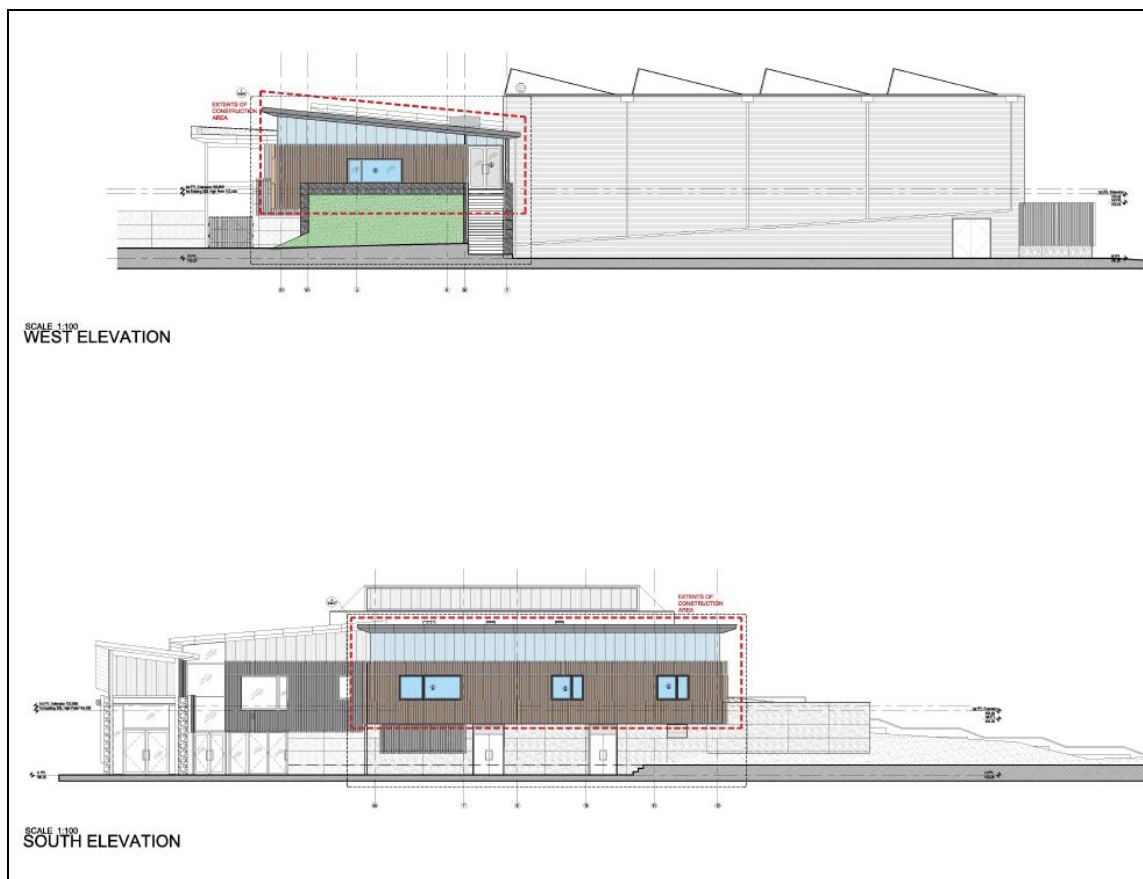


Side/West Elevation

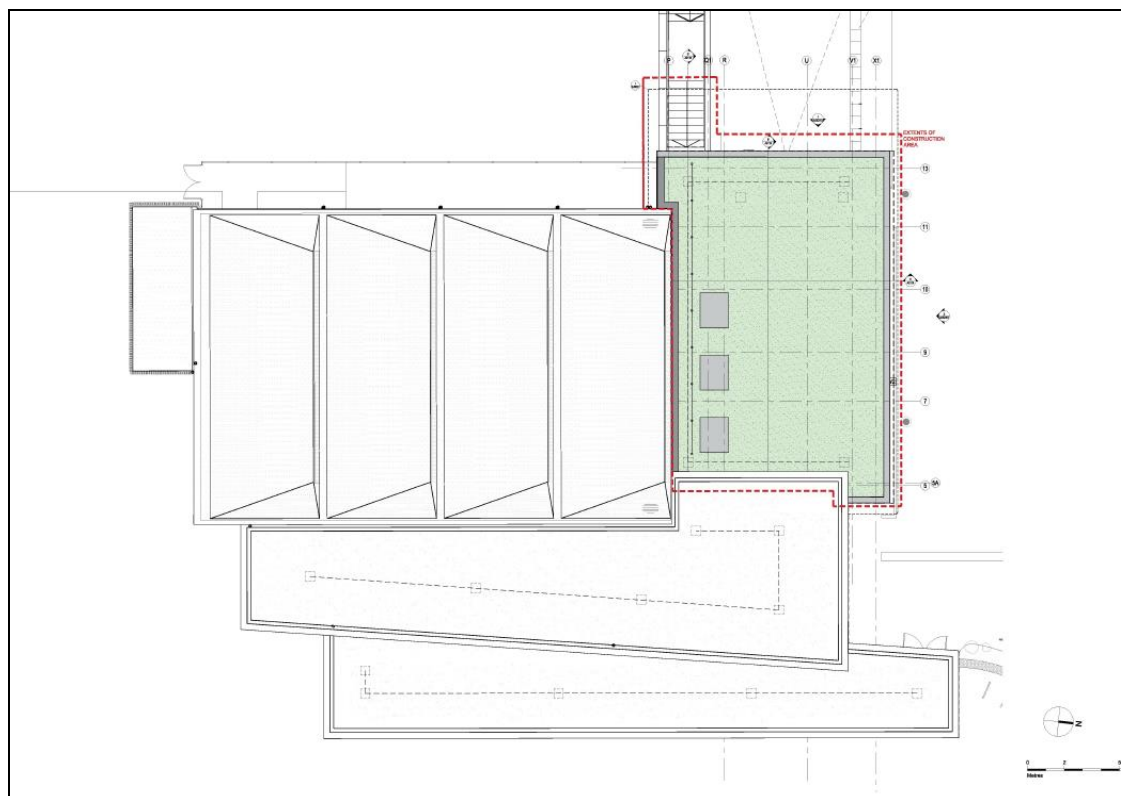


Rear/North Elevation

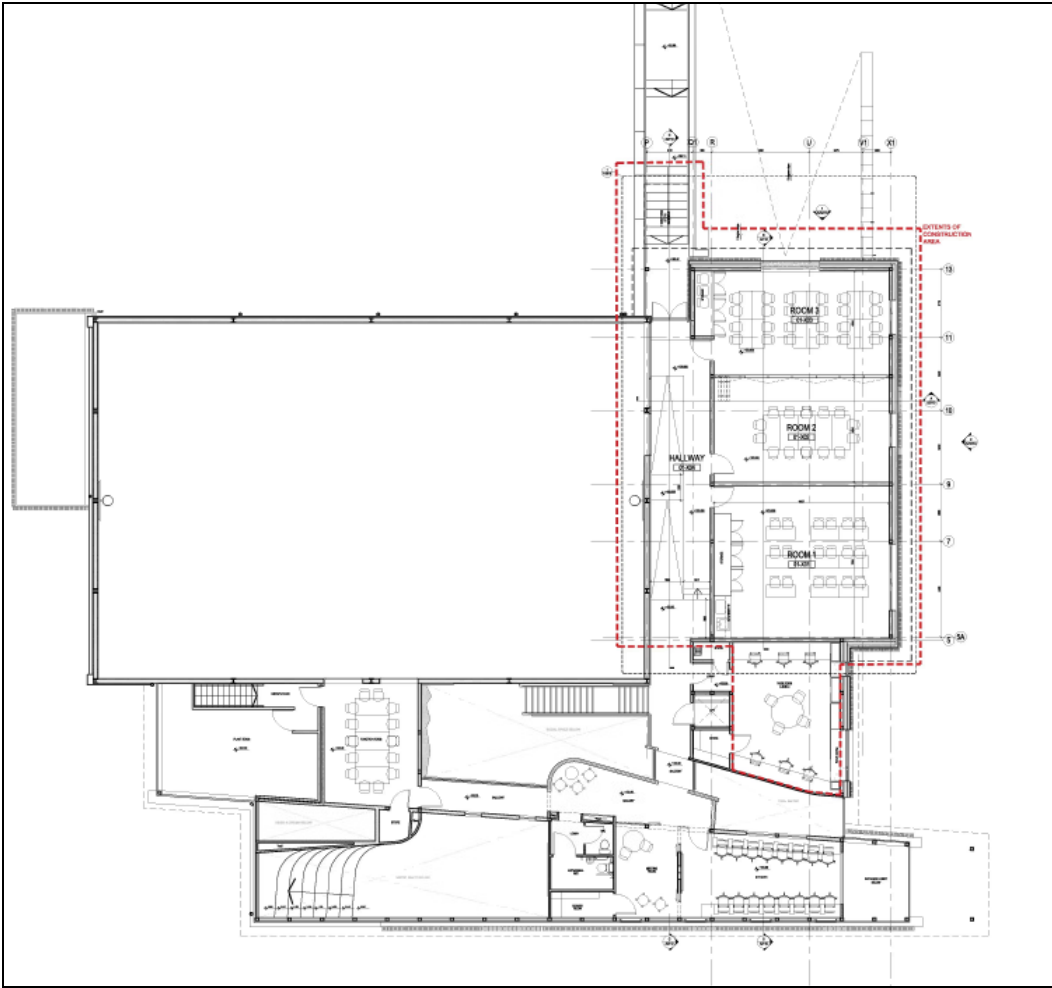
APPENDIX 4: PLANS AND ELEVATIONS



Proposed elevations



Proposed roof plan



Proposed first floor plan

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